

September 24, 2025

CITY OF SOUTHFIELD
PLANNING COMMISSION REGULAR MEETING
Council Chambers-Southfield, Michigan
Wednesday, September 24, 2025 - 6:30 p.m.

Video Recording transcribed by
JANENE CLEARY, Michigan CSR No. 16359

COMMISSION MEMBERS AND STAFF PRESENT:
Jeremy Griffis, Chair
Robert Willis, Vice Chair
Cynthia Bernoudy, Commissioner
Anthony Martin, Commissioner
Ghana Adell Goodwin-Dye, Commissioner
Dr. Geralyn Stevens-Gunn, Commissioner

Terry Croad, City Planner
Thomas Paison, Deputy City Planner
Alex Bollin, Assistant City Planner
Kyle Bryce, Planner

1 Planning Commission Meeting

2 Wednesday, September 24, 2025

3

4

5 CHAIR GRIFFIS: I'd like to call this meeting to
6 order.

7 This is the city of Southfield regular meeting of the
8 planning commission, September 24, 2025. And can we all please
9 stand for the Pledge of Allegiance?

10 I pledge allegiance to the Flag of the United States
11 of America, and to the republic for which it stands, one nation
12 under God, indivisible, with liberty and justice for all.

13 And can we have a roll call, please?

14 MR. BOLLIN: Yes, sir.

15 Commissioner Bernoudy.

16 MS. BERNOUDY: Present.

17 MR. BOLLIN: Commissioner Goodwin-Dye.

18 MS. GOODWIN-DYE: Present.

19 MR. BOLLIN: Commissioner Griffis.

20 CHAIR GRIFFIS: Here.

21 MR. BOLLIN: Commissioner Gruber is excused.

22 Commissioner Martin.

23 MR. MARTIN: Here.

24 MR. BOLLIN: Commissioner Dr. Stevens-Gunn.

25 MS STEVENS-GUNN: Here.

1 MR. BOLLIN: Commissioner Willis.

2 MR. WILLIS: Here.

3 MR. BOLLIN: You have a quorum.

4 CHAIR GRIFFIS: Thank you. Has everyone had a chance
5 to re -- review the agenda? And do I have a motion to approve
6 the agenda?

7 MR. MARTIN: To chair, motion to approve the September
8 24th planning commission agenda as provided.

9 MS. BERNOUDY: Second.

10 CHAIR GRIFFIS: A motion to approve the agenda by
11 Commissioner Martin, supported by commissioner Bernoudy. All in
12 favor.

13 ALL: Aye.

14 CHAIR GRIFFIS: All right. The agenda proceeds.
15 Announcements and communications today?

16 MR. PAISON: Not at this time, sir.

17 CHAIR GRIFFIS: All right. Now, onto the first
18 address. There's a rezoning and a special use at 22108 West
19 Eight Mile Road, Eagle Landscaping.

20 MR. PAISON: Yeah. Thank you, Mr. Chairman.

21 As noted, we did look at this previously in December
22 of 2024. Action was put off on it pending resolution of the
23 stormwater issue. I'll go through this just for a refresh.

24 As you had noted, it is a rezoning. The two parcels
25 along -- that they're adding to their site, Eagle Landscaping

1 along Eight Mile are being post -- one of them is IL, light
2 industrial. The other one is B3 general; business. They're
3 both proposed to rezoned to I1 industrial, which is what the
4 rest of the site is zoned, which would bring the whole site into
5 the I1 industrial, where the Eagle Landscaping use would, then,
6 be permitted use -- or special land use, rather. So there --
7 that rezoning is the first item there.

8 And then the special land use for the landscaping
9 contractor business. It is regional mixed use and light
10 industrial for that area, which is consistent with this sort of
11 light industrial and retail type of business. This is just a
12 site area.

13 To make it clear, the green area highlighted is the
14 current Eagle Landscaping site. Business has been in place for
15 many years. They're expanding onto the red area that is the
16 area being rezoned. The B3 is to the right and the I1 or the IL
17 is to the left. Those would both be rezoned to I1 and then I'll
18 show you the site plan on this.

19 Existing conditions. There was a -- a point where
20 they did some concrete work before they got permits. So that
21 was why the stormwater issue needed to be solved. The new
22 pavement required them to bring to -- to the modern stormwater
23 standards, which are more rigorous now than they were years ago.

24 Overall sight plan, as you can see, they're either
25 adding, they're using the existing building. They're going to

1 have some bin areas where they're storing mulch and stone and
2 other landscape materials. And then there's going to be some
3 parking in the front. The one thing they did do, per our
4 request at the last meeting, was, they pulled those bins back
5 out of the front setback and turned them so they're now screens.
6 So they no longer face Eight Mile and they're no longer in the
7 front setback, which eliminated two of the four waivers that
8 they needed. So that was as requested. They did com -- comply
9 with that.

10 The remaining waivers just to add the parking in the
11 front and to have the de -- decorative fencing in the front
12 instead of stopped at the front of the building. We would still
13 have to go to the zoning board, but we think those are
14 reasonable given what the rest of the site looks like.

15 Stormwater management plan. This was reviewed by the
16 city engineer. She found the solution to be workable. We'll
17 have to get into details and get a full engineering con --
18 drawings and permitting. But the actual nature of the -- the
19 solution is pretty common. We're seeing a lot of this
20 underwater. You see that hatched area in front of the building
21 on the top left, that's going to be under wonder -- storm
22 holding -- stormwater holding and infiltration. And based on
23 the pretest, that'll function. They're just going to connect
24 all those storm drains that are in the paved area over to that
25 area. And that'll be how that stormwater will be handled and

1 meet the county and city standards.

2 This is just the, you know, color coded site plan,
3 which is a little easier to read. You can see the green is
4 where the landscaping is going to be, the parking layout in the
5 front. And then you've got the bins where there's going to be
6 the bulk material. The gray is the existing building that's
7 going to remain. The use is part of the operation.

8 Landscape features in the front. They're going to
9 have that decorative fence like they do further to the west and
10 on Lahser. And then they're going to have a green belt with
11 planting's along it. So it'll look like the top right there
12 with the decorative light fixtures mixed in. So it's going to
13 continue that look that they have along with the other frontage
14 on Eight Mile and Lahser. So it'll have a cohesive look to it.

15 This is just the existing building, just showing the
16 conditions of what that looks like and the elevation of the back
17 and the front where they were adding the overhead door, which
18 has been added now. There was -- if you remember, there was a
19 little, like, almost, like, house grafted on the furthest
20 building that had to be demolished. And then they put the
21 overhead door in the front. That was an administrative
22 approval.

23 Just the floor plan showing it's open space. I think
24 it's mostly going to be warehousing, as I understand it.
25 There's a little bit of, like, an office area toward the front

1 there and a small mezzanine. So it's going to continue as a
2 light industrial use building as it was previously used.

3 And if the petitioner would come forward.

4 CHAIR GRIFFIS: Please state your name and address for
5 the record.

6 MR. HOLDWICK: You got it. My name is Chad Holdwick
7 (phonetic) with the Omar Group. My address is 49267 West Road,
8 Wixom, Michigan.

9 Thank you very much, Tom. We appreciate it. I think
10 you did a great job covering what we've accomplished since the
11 last time this was presented in December.

12 So if you have any additional questions for me I'm all
13 the ears and can help answer those.

14 CHAIR GRIFFIS: Okay. Thank you.

15 MR. HOLDWICK: No problem.

16 CHAIR GRIFFIS: This item is a public hearing. I'm
17 going to open it up to the public at this time and ask you to
18 take a step back.

19 MR. HOLDWICK: You got it.

20 CHAIR GRIFFIS: I'm seeing a fair amount of members of
21 the public signed up on this sheet here. There -- there is a
22 public comment portion at -- later on in the meeting. I'd like
23 to reserve the public comments to these projects specifically,
24 if you could, at this time?

25 If there's any members of the public that wish to

1 speak on this rezoning, specifically for Eagle Landscaping for
2 the parcels shown in red up here, step forward, please.

3 All right. Seeing none, close the public hearing for
4 the first item, which is PZR 24-0013 to the commission. And,
5 Chad, if you can step back up, if we have any questions.

6 Dr. Stevens-Gunn, any questions or comments.

7 MS. STEVENS-GUNN: I'd just like to thank Mr. and Ms.
8 eagle for going through the process and for continuing to
9 support the city of Southfield.

10 CHAIR GRIFFIS: Commissioner Martin?

11 MR. MARTIN: Second.

12 Thank you. I heard the stormwater. Stormwater. I am
13 so glad we've gotten that issue resolved. So thank you so much.

14 MR. HOLDWICK: No problem.

15 CHAIR GRIFFIS: Commissioner Goodwin-Dye.

16 MS. GOODWIN-DYE: I have a question about the
17 building. Are you guys going to do a refresh on that building?

18 MR. HOLDWICK: On --

19 MR. CROAD: To the chair. I just -- we're at the
20 rezoning portion right now.

21 MS. GOODWIN-DYE: Oh. I'm sorry.

22 MR. CROAD: If you wouldn't mind reserving any --

23 MS. GOODWIN-DYE: Sure.

24 MR. CROAD: -- questions on site or building until the
25 special language.

1 MS. GOODWIN-DYE: Okay.

2 MR. CROAD: Thank you.

3 MS. GOODWIN-DYE: I have no questions.

4 CHAIR GRIFFIS: Okay. Thank you.

5 Commissioner Bernoudy.

6 MS. BRNOUDY: No further questions. Thank you.

7 CHAIR GRIFFIS: Okay. I'm getting the support of
8 rezoning and combining the parcels as -- as described.

9 To the planning department, do you have a
10 recommendation?

11 MR. PAISON: Yes, Mr. Chairman. The planning
12 department is making a favorable recommendation of PZR 24-0013
13 to rezone 1.61 acres from IL, light industrial, to B3, general
14 business, to I1, industrial. This is on the north side of
15 Aidmale (phonetic) west of Lahser, 22108 West Eight Mile.

16 The (indiscernible) is consistent with the
17 comprehensive master plan, regional mixed use, which calls for a
18 mixture of large scale commercial service and office uses.
19 Eagle Landscaping is a large scale commercial use, so it does
20 fit that category, and it is -- would allow the expansion of
21 Eagle Landscaping and Supply. Additional uses permitted by the
22 rezoning would be compatible as well with this use and other
23 uses you find in that area of Eight Mile.

24 MR. MARTIN: To the chair.

25 MR. PAISON: Yes.

1 MR. MARTIN: I just want to pose a correction to what
2 you said.

3 MR. PAISON: Yeah.

4 MR. MARTIN: You said 22108 West Eight Mile.

5 MR. PAISON: Yeah.

6 MR. MARTIN: It's 22106 and 22108.

7 MR. PAISON: They have combined the parcels. And now
8 22108 is the address for that parcel now.

9 MR. MARTIN: Okay. Sorry. I stand corrected.

10 MR. PAISON: Yeah. I -- I actually corrected the
11 notices to the one address because they combined the parcels.

12 MR. MARTIN: Okay.

13 CHAIR GRIFFIS: To the commission, I'm looking for a
14 motion on PZR 24-0013, the rezoning for this.

15 MS. STEVENS-GUNN: To the chair, I'd like to recommend
16 a favorable approval of PZR 24-0013 rezoning of the property at
17 22108 West Eight Mile Road, Southfield, Michigan.

18 MR. WILLIS: Support.

19 CHAIR GRIFFIS: Okay. I've got a favorable motion by
20 Dr. Stevens-Gunn, supported by Commissioner Willis.

21 All in favor.

22 ALL: Aye.

23 CHAIR GRIFFIS: Any opposed?

24 All right. Rezoning proceeds.

25 The other item on this parcel is PSLU 24-0021. That's

1 the special use.

2 MR. PAISON: Yeah. Yeah. The special use here is the
3 landscape contractor. So to expand Eagle Landscaping onto this
4 property, once rezoned to I1, the landscape contractor use is
5 specifically a special land use, so it will need that approval
6 as well.

7 It has it for its main site, it's just to expand onto
8 this property, it needs an approval for these two -- this one
9 parcel that used to be two parcels, so we are looking at that.

10 And we do need to hold a public hearing on that one as
11 well.

12 CHAIR GRIFFIS: Okay. Did you have anything further
13 to add about the special --

14 MR. PAISON: No.

15 CHAIR GRIFFIS: -- before we --

16 MR. PAISON: No. We can talk after public hearing.

17 CHAIR GRIFFIS: Okay. Same process as before, I'd
18 like to open up the public hearing for PSLU 24-0021. That's the
19 special use for Eagle Landscaping for this particular parcel.

20 If anyone would like to speak on this item. I'm
21 seeing none. Close the public hearing.

22 Dr. Stevens-Gunn, do you have any questions or
23 comments about the site --

24 MS. STEVENS-GUNN: No --

25 CHAIR GRIFFIS: -- or the special --

1 MS. STEVENS-GUNN: I don't. Thank you very much
2 again.

3 CHAIR GRIFFIS: Commissioner Martin.

4 MR. MARTIN: No questions.

5 CHAIR GRIFFIS: Commissioner Willis.

6 MR. WILLIS: No questions.

7 MS. GOODWIN-DYE: No questions.

8 MS. BERNOUDY: Thank you. Will there be any
9 additional employees?

10 MR. HOLDWICK: My understanding is, no. The scope of
11 the site is not changing, it's just more space for the actual
12 use of the property, but, no.

13 MS. BERNOUDY: Thank you. That's all.

14 CHAIR GRIFFIS: Well, I'd like to acknowledge the --
15 the changes you made to the site plan to move the -- the outdoor
16 storage further back so that it meets the setback requirements.

17 Also, the city itself, you'll take stormwater
18 management very seriously, even on these older industrial
19 parcels that didn't -- you know, it's -- it's a different world
20 back then. So it was a creative solution that you came up with.
21 And, usually, we don't get into the weeds on engineering on this
22 body, but that was definitely one of the items on this site. So
23 it's good to see, you know, a good engineering architect it's
24 worth their money to come up with a solution usually to -- to
25 get approval and meet the rules and improve the -- the site for

1 everybody -- body else.

2 So I think it was a good -- good improvement to the
3 site. It makes -- you know, it's nice to see a business keep
4 expanding and cleaning up some of these older properties in --
5 in the city and -- and making things move forward.

6 MR. HOLDWICK: We appreciate that. Thank you.

7 CHAIR GRIFFIS: Yeah.

8 To the planning department, is there a recommendation
9 on this item?

10 MR. PAISON: Yes, Mr. Chairman. We are recommending a
11 favorable recommendation of the PSLU 24-0021 for the special use
12 for landscape contractor at 22108 West Eight Mile. It does meet
13 the general site plan -- or special land use standards for the
14 I1 district. Proposed use is s of size and character. It's an
15 appropriate and orderly development in the I1. Location, size
16 and intensity, it's designed to eliminate any possible nuisances
17 on other adjacent properties. Spirit and purpose of the chapter
18 is observed, not inconsistent with objectives of this chapter of
19 planning -- on planning.

20 It does not -- it's of such character that vehicular
21 traffic generated will not have an adverse effect or be
22 detrimental. Not likely to produce any adverse effects from
23 noise, dust, dirt, glare or fumes. And it's consistent with,
24 you know, not have adverse effects on health, safety and welfare
25 of the community.

1 It is based on the recommendations based on the
2 document, facts and representations, stipulations, submitted to
3 this body, both in the documents and at this meeting. Its
4 potential -- or recommended conditions are approval of the
5 rezoning city council. Approval of the site plan, the
6 administrative site plan, by the planning department. Approval
7 of the two remaining required zoning waivers by the Zoning Board
8 of Appeals. Site and building to be developed consistent with
9 the submitted plan set, dated 9/8 -- submitted 9/18/25.

10 Petition to implement recommendations to Southfield
11 Police Crime Prevention Bureau and continuous compliance with
12 all applicable ordinance, codes, laws and statutes, permits to
13 be performed under those issued by the city. And hours of
14 operation, Monday through Saturday, 7:00 to 5:00.

15 MR. BOLLIN: And through the chair. I want to thank
16 the applicants for reducing the waivers and following our
17 recommendations.

18 CHAIR GRIFFIS: All right. To the commission, looking
19 for a motion on PSLU 24-0021.

20 MR. WILLIS: For the chair. I move for favorable
21 consideration of PSLU 24-0021.

22 MS. GOODWIN-DYE: Support.

23 CHAIR GRIFFIS: I got a favorable recommendation by
24 Commissioner Willis, supported by Commissioner Goodwin-Dye.

25 All in favor.

1 ALL: Aye.

2 CHAIR GRIFFIS: Any opposed? All right.

3 MR. HOLDWICK: Thank you.

4 CHAIR GRIFFIS: Favorable recommendation. Thank you.
5 Good luck. All right. Thank you.

6 Next, we have 27100 through 27300 West Eleven Mile
7 Road. This is a site plan review PSP 25-0006.

8 MR. PAISON: Thank you, Mr. chairman.

9 Quick summary on this. This is the former BlueCross
10 BlueShield office complex on Eleven Mile near Inkster. Been
11 vacant for over a decade, I guess, closer to 15 years now. It's
12 been purchased by a new owner recently, and they're looking to
13 take the 200 and 300 towers, which are vacant and have been
14 vacant for some time. The 100 tower closer to Eleven Mile still
15 has office tenants in it, and they intend to backfill that
16 building.

17 The 200 and 300 tower, they would like to convert for
18 multifamily residential. I'm looking at over 300 units. I know
19 that's still in flux because they're working on trying to meet
20 the minimum floor areas required for our units. If they can
21 make that work, it -- it's brought the numbers down some. We'll
22 see, but it's going to be a little over 300, 304, 320. They're
23 still working out the details on the number exactly to try to
24 reduce that or eliminate that waiver.

25 Current zoning, RC, regional center, which is --

1 allows multifamily as a permitted use. Office research, is the
2 match plan designation, which is consistent with the regional
3 center zoning. Just looking at the site here, as you'll see,
4 the 100 building, 27100 is the one closer to the parking exit
5 closer to Eleven Mile. That's the one that has office tenants
6 in it, and they're looking to refill with commercial and office
7 tenants.

8 200, the middle building and 300, the building on the
9 north end are the ones they're are converting to residential.
10 It's going to be some amenities and whatnot.

11 Existing conditions. As you can see, the buildings
12 are still -- we toured them. They're still in reasonably good
13 condition, but to convert them to residential, they're going to
14 need a lot of work. This is the site landscape plan. You can
15 see the buildings and the parking decks. They're looking to add
16 a pool, an outdoor, like, patio area as you see behind the 200
17 building. And then on top of the west parking structure,
18 they've got a basketball court and pickleball courts.

19 They are adding sidewalk connections and crosswalks.
20 They are adding landscape islands out closer to Eleven Mile,
21 which is one of the things we asked them to do to kind of break
22 up that parking lot a little bit. And then we'll be putting in
23 additional shrub landscaping, screening the parking from the
24 roads as is in one of our requirements.

25 So they did -- actually the things we talked about,

1 they did take care of those. There's been some minor updates to
2 the floor plans, but similar to what you saw last time. You
3 know, I've got some commercial spaces on the first floor of the
4 200 building. And then the -- the lower level of the 200
5 building has some amenity spaces, an indoor theater, gym and
6 some party rooms and things for the -- would be the residents
7 and some units.

8 Levels -- th -- this is level 3, but it's similar to
9 level 2 -- 2 through 12. As you can see, it's got a central
10 core with the elevators and stairwells, and then apartments
11 around the perimeter. Makes a one bedroom, two bedroom and
12 three bedroom. These are just typical floor plans, kind of,
13 test fits for the site just to give you an idea of the layout of
14 the units one, two and three level.

15 And then this is for the 300 building, which is more
16 of a square building. As you can see, you've got level one and
17 the upper levels that are all apartments in this case. You got
18 your core with your elevators and stairwells. And then you got
19 apartments around the perimeter. Typical fit units for that as
20 well.

21 And then they did give us the summary we asked them
22 for as of the -- the set of plans I currently have in front of
23 me that I got a couple of days ago, 324 units, 88 one-bedroom,
24 140 two-bedroom, 86 three-bedroom and two four-bedroom units.
25 They did give us average rents as well. The 2200 -- 2272 for

1 the one bedrooms, 2727 for the two bedrooms and 3151 for three
2 and then 3516 would be the monthly for the four-bedroom.

3 Proposed amenities. You have the pool, pickleball and
4 basketball courts, outdoor seating area. Did we want to show
5 those videos now --

6 UNIDENTIFIED SPEAKER: Yes.

7 MR. PAISON: -- Planner?

8 UNIDENTIFIED SPEAKER: We got two videos.

9 Please, yes. Yeah. Can kind of -- yeah. We'll just
10 have to exit out of the PowerPoint for a second to run these
11 videos.

12 This shows some of their other projects where they've
13 done -- one of which is the refit of an office building.
14 Another one is, I think, a newer office building. We picked two
15 that were the closest. This is the refit of the office
16 building.

17 This just shows, kind of, what those buildings -- what
18 they've done with them. And they're short. They're like under
19 two minutes.

20 (A video was played.)

21 MR. PAISON: Let me just queue up the other one.

22 (A video was played.)

23 MR. PAISON: All right. All right. Just to -- to
24 that, those examples are nice because they show you, like, the
25 scale of the residential work that this company has done in

1 recent years.

2 And the petitioner is forward, if you can introduce
3 yourselves.

4 MR. NYON: My name is Matt Nyon (phonetic). I am here
5 with Brady Sullivan Properties. I'm the lead architect here on
6 this project here.

7 And thank you, Tom, by the way. That was -- that was
8 great.

9 And as you can see from those videos, that's -- that's
10 typical of what we do. We offer high-end, you know, luxury
11 apartments, you know, at market rates. And as you can see from
12 some of those videos there, the office fit up. That was one of
13 several that we've done. And the other one was actually a new
14 build.

15 And, as you can see, that, we provide the amenities is
16 what really sells these is -- this is what brings the people in,
17 is the gym and the movie theater, the event room, all the
18 amenities that we offer. So we plan on doing the same thing
19 here.

20 So I'll give a little -- little history of the company
21 so you know us a little better since we're not from around here.
22 So we started in Manchester, New Hampshire back in 1992. It was
23 two real estate developers, Arthur Sullivan and Shane Brady got
24 together. And it started off with just buying multifamily
25 residential units. And then over the last few decades, it's

1 exploded into what we are now. We're one of the biggest real
2 estate development companies in the New England area. And we
3 own properties all over New England, as well as Florida,
4 Georgia, Kentucky, as far out as Wisconsin, Ohio. We have a
5 few self-storage facilities here in Michigan. And that -- that
6 has been our bread and butter for the last few years, the
7 self-storage game.

8 But it all started in Manchester, New Hampshire, with
9 the redevelopment and the revitalization of the historic
10 Milliard with a lot of these mills sitting vacant and kind of
11 falling apart. We revitalized the whole place into commercial
12 and residential -- residential apartments and commercial real
13 estate. So offices and businesses and such like that. And then
14 we start moving down to Connecticut, Lawrence, Massachusetts.
15 We did the same thing. So we've been revitalizing these --
16 these communities, these districts that have fallen into
17 disrepair.

18 So nowadays, today, we actually own about 8 million
19 square feet in commercial and residential properties. And, so,
20 now we're going to bring this out here, and this is what we want
21 to do here. And -- and a lot of our properties are already
22 filled to capacity, especially the residential properties. We
23 have an old mill conversion we did in a small town called
24 Allenstown, New Hampshire, which it's -- I think it's about 160
25 units, and we already have -- this opened two summers ago when

1 we already have about 300 applicants on the wait list. And
2 that's just one.

3 But as you can see from the examples in those videos,
4 that old office building right there on -- on Elm Street in
5 Manchester that we converted, that was broken up into a rentable
6 office space that we turned into apartments. We did the same
7 thing to another building a little further down the road, which
8 is a 20-story tower. It was all commercial -- commercial
9 property -- commercial spaces in there. We took about ten of
10 those floors and converted them into apartments, which are now
11 filled. They're all rented out. And we have the amenities
12 space down in the basement, game room, library, movie theater.

13 And we did something similar to a property in
14 Merrimack, New Hampshire, which was the old Brookstone, if you
15 remember Brookstone, that store in the mall they vacated. And
16 we did the same thing. We converted that, about 70,000 square
17 feet into apartments. And that's almost at capacity now, too,
18 and that opened two years ago. So just a little history of the
19 company and what we do.

20 CHAIR GRIFFIS: Thank you.

21 All right. This is not a public hearing, so let's
22 open up to the commission for any comments.

23 Dr. Stevens-Gunn, do you want to kick it off?

24 MS. STEVENS-GUNN: Well, first of all, thank you for
25 investing in our community.

1 I guess one of the questions I have is -- well, I
2 actually have two question. Number one, have you started
3 exploring the buildings for things that might need remediation?
4 Like, what do you call it, asbestos and those kinds of things?
5 Have you started --

6 MR. CIPRIANO: Yeah, we can talk about that right now.

7 MS. STEVENS-GUNN: -- exploring that?

8 MR. CIPRIANO: We have --

9 CHAIR GRIFFIS: Could you just remind us of your name
10 and address too, please --

11 MR. CIPRIANO: I'm sorry.

12 CHAIR GRIFFIS: -- before you --

13 MR. CIPRIANO: Vincent Cipriano (phonetic). I live in
14 Sterling Heights --

15 MR. CROAD: If you could talk into the microphone
16 because it's being recorded.

17 MR. CIPRIANO: Okay. Sorry. Vincent Cipriano. I
18 live in Sterling Heights. And I'm looking to be the -- I'll be
19 the construction manager on the project. And, yeah, so I forgot
20 what the question was again.

21 MS. STEVENS-GUNN: The question is, have you all
22 started to explore whether there will be some remediation kinds
23 of things like asbestos and other things that might need to
24 happen before construction starts?

25 MR. CIPRIANO: Yes. So we had Hillman come in.

1 They're a laboratory. They did the testing on most of the
2 levels. We've had some reports back. There's no asbestos in
3 the building, in the 200 building. And the next building that
4 will be tested will be the 300 building. Lisa is still in there
5 with somebody else. So as soon as that has expired at the end
6 of this month, we'll be able to get in there and get the testing
7 for that building in there.

8 MS. STEVENS-GUNN: My next question is, once -- once
9 you complete this process, what is the turnaround time from
10 digging in the dirt to occupancy?

11 MR. CIPRIANO: So we'll be going -- turnaround time,
12 probably about a year and a half before completion. We'll have
13 to go in there and do the demo. We have to take out all the
14 existing drywall, take out all the old electrical and the -- and
15 the heating ducts and everything, and replace it with all new --
16 go in there with new cabinets and kitchens and bathrooms and
17 tile and -- and flooring in there.

18 And, so, we'll probably have some models going on a
19 certain floor, and then we'll probably be working on down and
20 clearing out the old and coming in with the new.

21 MS. STEVENS-GUNN: I just have one final question, and
22 I'm not sure if this is appropriate or not. Is the project
23 contingent upon external funding grants?

24 MR. CIPRIANO: That's a good question. I'll have to
25 probably ask Luke on the external funding.

1 I -- I -- they were talking -- as far as I know,
2 currently, right now, they're being self -- self-funding it.
3 Mr. Chris Lewis did mention to me that they are going for
4 external funding at a later date. I wasn't given a date yet of
5 when that will be happening.

6 MS. STEVENS-GUNN: Okay. Thank you.

7 CHAIR GRIFFIS: Commissioner Martin.

8 MR. MARTIN: I don't know if this is appropriate
9 either. Is that -- generally, office buildings use metal studs
10 and drywall side to side. Will your apartments be built the
11 same way?

12 MR. CIPRIANO: Yeah. So we'll have steel studs in
13 between -- between the walls. We'll have exterior insulation
14 around there. And, yes, they will be -- be built that way.

15 MR. MILLER: They'll do -- take care of the sound
16 proofing and -- in that time?

17 MR. CIPRIANO: Yes.

18 MR. MILLER: And I noticed in the videos that the
19 rooms use the two-inch duct -- ducting for the pipe for heating
20 -- for air conditioning. Is that the same heating and cooling
21 system?

22 MR. CIPRIANO: Yes. It's a similar heating and air
23 conditioning will be self-units in each unit itself. So it's
24 not going to be based off of a common thing on every floor.
25 Every single unit will be self-controlled.

1 MR. MARTIN: Oh, that was my next question.

2 MR. CIPRIANO: Yeah.

3 MR. MARTIN: Yeah. Okay. No further questions at
4 this time.

5 MR. CIPRIANO: Okay.

6 CHAIR GRIFFIS: Commissioner Willis.

7 MR. WILLIS: You mentioned during our last meeting was
8 the possibility of utilizing a -- well, at least gaining access
9 to the park that's on the other side of that gully. Is that
10 still in my -- under discussion?

11 MR. CIPRIANO: Well, we talked -- we talked about
12 adding something out in the front for a park or something. And
13 the other park, I -- I don't recall that -- that -- that
14 conversation.

15 MR. WILLIS: Okay.

16 MR. CROAD: Through the chair. I -- I think we -- we
17 would like to continue exploring that with you about --

18 MR. CIPRIANO: Okay.

19 MR. CROAD: -- linking to the city's park on the other
20 side of the woodland.

21 MR. CIPRIANO: Yeah. There is a park on the other
22 side there.

23 MR. CROAD: Right. That's who he's talking about
24 linking to that.

25 MR. CIPRIANO: Oh, okay.

1 MR. CROAD: Providing a trailer or bridge, a
2 pedestrian bridge there.

3 MR. CIPRIANO: Well, there is -- there is a -- like a
4 ravine there or a river or something through there. So I --

5 MR. PAISON: Pebble Creek runs through there.

6 MR. CIPRIANO: I don't think we've explored that area
7 of having access to it yet.

8 MR. CROAD: Right. But -- but you -- there's the
9 potential at Eleven Mile to get access to the --

10 MR. CIPRIANO: There is a little --

11 MR. CROAD: -- park.

12 MR. CIPRIANO: -- cutoff road over on the other side.
13 We can explore that and take a look at it for you. Sure.

14 MR. WILLIS: Okay. Thank you.

15 CHAIR GRIFFIS: Commissioner Goodwin-Dye.

16 MS. GOODWIN-DYE: I don't have anything.

17 CHAIR GRIFFIS: Commissioner Bernoudy.

18 Ms. BERNOUDY: Yes.

19 MR. CIPRIANO: So that's -- I think that's a Pebble
20 Creek --

21 MR. CROAD: Yeah. Pebble Creek. Yes.

22 MR. CIPRIANO: -- Park. Yes.

23 MR. CROAD: Yes.

24 MR. CIPRIANO: Yeah. We could take a look at that.
25 We would get an aerial of that and see what it would take to

1 have a trail going back through there. Absolutely. Yeah.

2 CHAIR GRIFFIS: Commissioner Bernoudy.

3 MS. BERNOUDY: Yes. Thank you.

4 I -- first of all, I'd like to thank you for the video
5 presentation. It was absolutely -- absolutely beautiful.

6 I -- my only question is, in reference to the parking,
7 on your paperwork that I'm looking at, you said that you would
8 have one and a half spaces for a one to two bedroom resident; is
9 that correct?

10 MR. NYON: Yeah. We had -- I had a document that
11 listed the require -- the required number of spaces, whether it
12 was a 2.5 per unit or 1.5 per unit and a certain number of
13 barrier free spaces for ADA and handicap accessibility.

14 We don't have that in here, right? Yeah. It's okay.

15 With the two -- so there's way more than enough spaces
16 on this property. So change of use going from business down to
17 residential, there's a lot less people than there would have
18 been parking spots required for it being business. So with the
19 two parking garages -- the two existing parking garages that are
20 on site, those two contain well over enough spaces to serve all
21 the units that we will have in the apartments that we're
22 proposing.

23 We are also planning on keeping some of them -- some
24 surface parking spaces, whether in front of the building or the
25 ones off to the side over there. Because we -- we're, you know,

1 proposing developing that front parking lot as a park or any
2 other type of, you know, use that it could be. But we do have
3 enough parking. And we will reserve some out front because we
4 are also proposing commercial space or retail space on the
5 ground floor of building 200.

6 MS. BERNOUDY: So will the resident that will be
7 living there, will they be assigned parking spaces or not?

8 MR. NYON: Usually, what we've done on other
9 properties is, nobody has assigned parking spots per se, but
10 parking spots and the number of parking spots per unit are
11 included in the rent.

12 MS. BERNOUDY: Okay.

13 MR. NYON: Yes.

14 MS. BERNOUDY: Thank you.

15 MR. NYON: So that'll -- that'll come with the rent.
16 Yeah. No problem.

17 MS. BERNOUDY: Thank you.

18 MR. NYON: You're welcome.

19 MR. PAISON: Through the chair. We just know we did
20 do the parking --

21 MR. NYON: Yes.

22 MR. PAISON: -- parking calculation per the ordinance.
23 The requirement for the office building and the proposed
24 apartments was 968 spaces. The site has 2,482 spaces.

25 MR. NYON: Yeah. So we -- we got enough. Yeah.

1 There's plenty in -- in -- in the park -- two parking garages
2 alone. There's -- there's enough, but we will be leaving extra
3 out front surface parking for visitors or people using any
4 commercial or retail space that we propose on the ground floor.
5 Yeah.

6 MR. CROAD: Yeah. And I -- I just wanted to add that
7 we did talk about, in some future, maybe out parcel development
8 on Nine Mile, which would remove some parking and require some
9 additional parking.

10 MS. BERNOUDY: Okay. Thank you.

11 CHAIR GRIFFIS: Yeah. I wanted to echo that too.
12 It's -- it's a big site. I know this is already an ambitious
13 project. So, hopefully, this goes so well that you're going to
14 want to develop some more complementary uses along the street
15 frontage. I think that would be nice to kind of bring this down
16 to the human scale a little more, cover up kind of some of the
17 glass office buildings that I'm not the largest fan of.

18 I also understand you have a lot of glass that's
19 existing on these buildings. I said this at the last meeting.
20 Just hopefully, something can be explored for some kind of curb
21 improvement or --

22 MR. NYON: Yeah.

23 CHAIR GRIFFIS: -- you know, curb appeal, something.
24 I don't know. What's -- what's big enough but small enough that
25 it makes sense --

1 MR. NYON: Oh. Yeah. No. Absolutely.

2 CHAIR GRIFFIS: -- you know, with the size of the
3 building.

4 MR. NYON: I mean --

5 CHAIR GRIFFIS: It's a tough one, but --

6 MR. NYON: Yeah, it is. But depending on what we want
7 to do or what you would want to do, I mean, we can do -- we can
8 do townhouses, a little village of townhomes. There could be a
9 park, a playground, any -- plenty of green space. I think that
10 would be a good idea too. Because this is a sea of pavement at
11 the moment.

12 CHAIR GRIFFIS: Yeah.

13 Mr. NYON: But cleaning it up with green spaces, you
14 know, little retail shops, coffee shops, things like that,
15 can -- can really kind of fill this in and, like you said, bring
16 it down more to the human scale in front of these massive
17 buildings. But there's plenty of ideas that we could explore in
18 that area. Yeah, but either residential or commercial, one of
19 the two or both.

20 CHAIR GRIFFIS: Then I just -- maybe this was you, but
21 I -- I complimented this set of drawings. It's -- it's very
22 clear and easy to understand and --

23 MR. NYON: Yeah. That was me. Thank you.

24 CHAIR GRIFFIS: So I was telling the commission here,
25 you know, there's a question of, like, if the units are slightly

1 below our minimum required unit size. I think this is very
2 helpful to show you that you can fit everything in here. And
3 then there's also the amenity floors, which is all this
4 additional living area that everyone gets to share. So that --
5 that, to me, satisfies the intent of the ordinance of -- of
6 giving a certain amount of square footage to somebody because
7 you're not building this ground up and everybody just sits by
8 themselves in their own unit. Hopefully, this is more like
9 interaction, and it's --

10 MR. NYON: Yeah.

11 CHAIR GRIFFIS: -- it's a community type of space.
12 It's a totally different living style.

13 MR. CIPRIANO: We -- we did address that from their
14 last meeting that some of the units were a little smaller. So
15 we moved two units from each floor. So all of them increased a
16 bit. We do meet the code, it looks like, that we're going to be
17 good going all the way up. We're just working on the details
18 right now. The final drawings will be ready to -- before the
19 next meeting.

20 MR. NYON: Yeah. So we -- yeah. On -- on that note,
21 we do -- every unit is above the minimum square footage. We did
22 want to -- you know, we did want to reach that goal that you
23 guys have and make everything to the minimum. On the -- the
24 exception is on the first floor of building 300 because building
25 300 is a little funny. The -- the -- the ground floor is a

1 smaller footprint than the floors above. It's kind of like this
2 covered walkway that goes around the perimeter of it, and the
3 floors above hang over it. So it was smaller of a footprint.
4 So we do have smaller units on there that are below the required
5 square footage.

6 However, like, as you can see when you look at the
7 plans, that everything does fit when you show the furniture and
8 everything else that would go inside the building. And the same
9 thing on the connector piece, the single floor connector piece
10 between building 200 and 300.

11 We were proposing that to be some commercial and
12 retail space in there. But we were also kind of exploring the
13 idea of maybe throwing some residential units towards the back
14 where the back windows are. And those ones are all a little bit
15 below the minimum as well. But we are going to work in the next
16 couple of weeks to get the -- those all -- we might lose a
17 couple more units if that's the case, but that's all right. We
18 want to make everybody happy and get those to the correct square
19 footage. So we -- we will be adjusting that and we will have
20 that ready for the -- when we submit it for the city council
21 meeting.

22 CHAIR GRIFFIS: Okay. Great. Yeah. I think it's a
23 really exciting project.

24 MR. NYON: Thanks.

25 CHAIR GRIFFIS: Commissioner Martin.

1 MR. MARTIN: You mentioned some of the apartments
2 being somewhat smaller than that. Have you looked at doing any
3 larger apartments? You have -- I think you have one floor where
4 you have four bedroom apartments. Have you looked at putting
5 any larger apartments anyplace else in the facilities?

6 MR. NYON: We could. And -- and -- and that'll
7 probably be the case. I mean, if we do try to get all the units
8 up to the right square footage, we will lose some units. And if
9 we do lose a unit, that unit will now become part of the other
10 units. So we will gain a lot of square footage. In -- in a lot
11 of our units that we're proposing in both buildings are well
12 above the minimum. So like 1,100 square feet minimum for a
13 three-bedroom. We have some that are 13, 1,400 square feet. We
14 have some two bedrooms that are 1,110, 1,200 square feet. So we
15 do have a lot of them that are well above what the minimum was.
16 And those four bedroom units, the backside of building 200 has a
17 -- where the -- I think it was the cafeteria used to be when
18 this was a business. We have a double height ceiling --

19 MR. MARTIN: Yeah.

20 MR. NYON: -- down there that's like 30 feet tall. So
21 in that -- in that one, we were proposing to do two story units.
22 So that's why they're so big. These four bedrooms that are
23 2,700 square feet or 2,000, yeah. And we were proposing to put
24 lofts in those. So you have a loft with a railing that looks
25 down to the rest of the unit below, and you get a nice view out

1 back of that 30-foot high curtain wall of glass.

2 MR. MARTIN: You leaving the escalator then?

3 MR. NYON: We -- we -- we really, really, really want
4 to. We've gotten word from people that have looked at them or
5 assessed them, and they haven't been used in, like 15 years.
6 And we're being told that, you know, the maintenance on these
7 things will be a lot more expensive than if you were to --
8 what --

9 MR. CIPRIANO: What is it?

10 MR. NYON: If we were to get them fixed, maintenance
11 on them would be expensive.

12 MR. CIPRIANO: Yeah. The escalators, the amount of
13 usage that they would get. It's not going to be --

14 MR. MARTIN: They were used a lot and they had a lot
15 of abuse, believe me.

16 MR. CIPRIANO: Yeah. Well, when BlueCross had the
17 building there, they had it checked out to have them refix it up
18 and everything. And at that time, 15 years ago, it was not
19 worth getting fixed. It would cost more to have them replaced,
20 it would be cheaper to get them replaced than -- than to
21 continue doing the repairs on it.

22 MR. NYON: So as much as we would like to keep them,
23 it's still something we're going to explore and talk about to
24 see if it's -- it's feasible. And maybe they get replaced
25 because the -- the initial goal -- the initial intent was to --

1 was to keep them, yes.

2 MR. MARTIN: Okay. And I think you said you're
3 looking at a year and a half, basically, to do the remodel.

4 MR. NYON: That -- that sounds about good. Yeah.
5 That sounds about right.

6 MR. MARTIN: Was it two towers, 200 and 300?

7 MR. NYON: Yeah. Because we were hoping to start demo
8 simultaneously on both towers. And hopefully, we can get things
9 more streamlined if we do it that way, but --

10 MR. CIPRIANO: The 300 -- the 300 tower is smaller
11 than the 200 tower.

12 MR. MARTIN: Yeah.

13 MR. CIPRIANO: And there's less floors on it. So that
14 will go probably a little bit faster than the 200 building. So
15 if we have crews on both of them, they're going to be, you know,
16 going at the same time. We can start on 200, you know, when
17 we're -- when we're allowed to start, and then 300 would follow
18 with that. So they'll catch up with it. They'll both kind of
19 finish the demo work around the same time.

20 MR. MARTIN: Okay. Thank you very much.

21 MR. CIPRIANO: You're welcome.

22 MR. NYON: Thank you.

23 MR. CROAD: Through the chair.

24 MR. MARTIN: The project --

25 MR. CROAD: Huh? If I could ask, what's -- how many

1 construction crew are -- are you going to be hiring or bringing
2 in?

3 MR. CIPRIANO: How many people?

4 MR. CROAD: Yeah.

5 MR. CIPRIANO: How many people on the crew is?

6 MR. CROAD: Yeah.

7 MR. CIPRIANO: I would expect well over 150 on the
8 projects.

9 MR. CROAD: Okay. Thank you.

10 MS. GOODWIN-DYE: Can I ask?

11 CHAIR GRIFFIS: Yeah. Go ahead.

12 MS. GOODWIN-DYE: Are -- are your construction crews
13 going to come from the area?

14 MR. CIPRIANO: Yeah. Most of them will be. There
15 might be a couple of people from out of town, but not very many.
16 Most of them are right from the area.

17 MS. GOODWIN-DYE: Okay.

18 MR. NYON: Yeah. We have -- we have one subcontractor
19 that we use a lot, and they're -- they go all over the country.
20 They're -- they'll do -- their specialty is the metal framing of
21 the -- the walls. Yeah.

22 CHAIR GRIFFIS: Anybody else? All right.

23 To the planning department, do you have a
24 recommendation on this project?

25 MR. PAISON: Yes. Mr. Chairman, I just want to --

1 because this is such a large project, it does have to go to
2 council for approval. So this is a recommendation instead of
3 final action. That's triggered by the fact that it's over 200
4 units of residential. Also, it's over a 150,000 square feet.
5 So there's two triggers, a trigger the community impact
6 statement, which was included in your packet and that triggers
7 council consideration. It's one of the few things that still
8 sends site plans to council.

9 So this will be one of those that has to go to
10 council. So we are recommending a favorable recommendation of
11 PSP 25-0006 site plan review to convert to 200 and 300 towers
12 for multifamily and supporting commercial and amended uses.
13 That is under the site plan review standards for the RC
14 district, both appearance, be design and located to fit into the
15 surrounding area. Obviously, these were existing office towers
16 in the RC district. So the appearance inherently is sort of
17 consistent with the area, as they were one of the defining
18 features.

19 Coordination with adjacent sites. Once again, the
20 traffic and circulation. When this was full office towers, it
21 was actually more intensive use. There would have been more
22 people here daily.

23 Pedestrian circulation access. They're providing the
24 sidewalk connections. We do have sidewalks in the area. The
25 roads were designed for three fairly intense office towers. So

1 this residential use will be of a lower impact.

2 Public services are adequate. They, once again,
3 served large office buildings. So the sewer, water, gas,
4 electric is all adequate for that area in the use.

5 Site design characteristics. With some of the
6 improvements they're proposing, it's definitely consistent with
7 a conversion to residential for these buildings. Site lighting
8 will obviously be similar to what they're now, but, you know, as
9 needed to be repaired or replaced. But they're -- we have a
10 site lighting ordinance that'll make sure that's consistent.

11 Vehicular (indiscernible) can access, as noted. Once
12 again, these were fairly intense office towers that had a lot of
13 daily traffic at their peak. This will actually be a little bit
14 lower intensity use, but the roads should be able to handle the
15 traffic without any issue.

16 This resolution is based on the documents, facts,
17 representations and stipulations submitted with the application
18 on the record at the hearings. Conditions, site and building to
19 be developed consistent with the revised plan set prepared by
20 Brady Sullivan Properties presented at September 24, 2025
21 planning commission.

22 The petitioner is to implement the condition
23 recommendations of the Southfield Department's Crime Prevention
24 Bureau regarding site security, (indiscernible) SB charging
25 stations would have to comply with the planning department EV

1 charging, barrier free pro -- policy. We're not sure on the
2 plan now, but if they are added, we have an established policy
3 for how those would have to be implemented. And usually, it's
4 handled by an admin site plan at that point.

5 In continuous compliance with all applicable
6 ordinance, codes, laws and statutes. All work to be done under
7 plans, permitted inspections by the city. And that -- that's
8 what we have.

9 CHAIR GRIFFIS: Thank you. That we're looking for a
10 motion on -- or sorry, skip that.

11 PSP 25-0006.

12 MS. BERNOUDY: To the chair. I'd like to make a
13 motion for PSP 25-0006, favorably.

14 MS. STEVENS-GUNN: Second.

15 CHAIR GRIFFIS: All right. We got a favorable
16 recommendation by Commissioner Bernoudy. Second by Dr.
17 Stevens-Gunn.

18 All in favor?

19 ALL: Aye.

20 CHAIR GRIFFIS: Any opposed? All right. Thank you.
21 Favorable recommendation. The next step is city council.

22 MR. NYON: Awesome. Thank you very much, everybody.

23 CHAIR GRIFFIS: Thank you. Good luck.

24 MR. CIPRIANO: Thank you.

25 MR. MARTIN: Thank you.

1 MS. BERNOUDY: Thank you.

2 MR. CIPRIANO: Thank you very much.

3 CHAIR GRIFFIS: Next item is PTZA 25-0005. That's a
4 zoning text amendment.

5 MR. PAISON: Thank you, Mr. chairman.

6 As we discussed at our previous meeting, I'll go into
7 the -- to cover this first. This is the -- the full meeting.

8 We are looking to do a small amendment to the zoning
9 ordinance to add a definition for public right-of-way fence and
10 to provide for some specific regulations that would protect that
11 fence from damage. In this case, the city is looking to replace
12 the public right-of-way fences that were installed two plus
13 decades ago, along some of our main roads. It does provide the
14 city with a nice cohesive appearance. But those fences are now,
15 I think, 20 years old, and they're just showing their age.
16 Certain sections need to be replaced. Budget has been approved
17 and a contract has been looked for that purpose. But one of the
18 questions was, how do we prevent -- how do we make sure the new
19 fences last as long as they can and prevent any unnecessary wear
20 damage on them? And one of the discussions was, we can control
21 what happens on the right-of-way side because we own the public
22 right-of-way. But whatever is on the private side of those
23 fences has been part of the problem.

24 So we are looking at -- and this is consistent with
25 the master plan. We always check that for zoning amendments,

1 retaining neighborhood character, keeping up the quality of the
2 areas built -- in the built environment, providing aesthetic,
3 well-maintained streets and sidewalks and upgrading
4 infrastructure and faced -- facilities in locations where it's
5 older or substandard.

6 So first thing up as a definition, we needed to define
7 it so we knew what we were regulating. Public right-of-way
8 fence, a fence along the side of a public road right-of-way
9 installed and maintained by the city or another public agency
10 having jurisdiction over the public road right-of-way. So this
11 would cover fences installed by the county on county
12 right-of-ways or MDOT on their right-of-ways. We thought might
13 as well just cover it all now instead of leave a gap.

14 So once we got a definition, we know what we're
15 talking about, and then we look at just some standards for
16 approval. This just kind of tell us, like, what you can do on
17 the private side of the fence. And mostly, this is really
18 designed, as we noted in the -- the verbiage, to reduce -- to
19 avoid print damages that would reduce the normal life span of
20 these commercial grade fences that we're installing. Basically
21 keeping vegetation clear, three foot. No woody vegetation, tree
22 shrubs or vines permitted to grow within three feet of the
23 fence.

24 Outdoor storage. We don't want things stored, you
25 know, against the fence or leaning on the fence or in a way that

1 would damage the fence. Attachments, you know, no attachment
2 modifications. No mounting things to the fence, no other
3 modifications to the fence that might compromise its structural
4 integrity. And then parallel private fences, if they were some
5 put up on the residential side parallel to the -- the
6 right-of-way fence. It needs to leave a gap big enough so they
7 can do the vegetation management that would be required for the
8 vegetation above.

9 Just some -- this is kind of one of the fences -- this
10 one of the fences we're replacing. So you can see what happens
11 when the vegetation gets growing in there. It can -- actually
12 -- in some places, it's pushed out, and some places the fence as
13 been pushed apart. And -- and it leads to a certain amount of
14 rot and decay. They are looking to go to more of a heavy duty,
15 commercial grade vinyl fencing. But it's not going to be white.
16 It's going to be that kind of tan color that's circled. So
17 it'll blend in a little better. Everybody thought the white was
18 a little too stark.

19 And then really, we are looking at a public hearing on
20 this in order to make a recommendation to send that to council.
21 We are planning and work in this fall, meaning the replacement
22 of those fence sections this fall. So it's -- it's something
23 that's imminent. I believe they're actually in the process of
24 getting those contracts executed to get that work commenced.

25 CHAIR GRIFFIS: Okay. Thank you.

1 I'd like to open up the public hearing for this
2 particular zoning text amendment regarding fences in the public
3 right-of-way. If anyone looking speak on this, please come
4 forward.

5 I'm seeing none. Close the public hearing.

6 Dr. Stevens-Gunn.

7 MS. STEVENS-GUNN: I have a question regarding the --
8 the installation of the fence. Are they going to take out those
9 trees and vegetation that are growing through the existing fence
10 because it appears that it's going to be within the three feet?

11 MR. PAISON: Yeah. The contract with the fence
12 company includes clearing. So they'll take down the old fence
13 and clear the pathway so they can put the new fence on.

14 MS. STEVENS-GUNN: Okay. And when they clear the
15 pathway, they're going to do roots and everything, so that's --

16 MR. PAISON: That's the plan. Yeah.

17 MS. STEVENS-GUNN: -- vegetation won't grow back.

18 MR. PAISON: Yeah. The -- the -- the lower
19 vegetation, the -- they're going to grub that out. And then if
20 there are larger trees that aren't covered by the contract, our
21 GPW crew is going to come and remove those and grind the stubs.

22 MS. STEVENS-GUNN: Okay. Thank you.

23 MR. PAISON: Yeah.

24 CHAIR GRIFFIS: Commissioner Martin.

25 MR. MARTIN: I -- I understand the areas that you have

1 identified there are Southfield City fences.

2 MR. PAISON: Yeah.

3 MR. MARTIN: But you also have along Eleven Mile MDOT
4 fences. Yeah. Are -- is MDOT aware of the ordinance and are
5 they in coordinate -- coordinating anything with this?

6 MR. PAISON: Yeah. They're -- I'm not aware of them
7 preparing to do any projects right now. But I'm sure if they
8 found out we were requiring those fence lines to be cleared,
9 they probably would not have a problem with it. We haven't
10 communicated with them on that, but I can't see how they would
11 be opposed to keeping their -- the fence lines that they install
12 also clear since it does potentially damage the infrastructure.

13 And they don't have local enforcement authority like
14 we do for -- under zoning. So they can't really -- they don't
15 have the weight -- the ability we have to regulate in this way
16 on a local residential lot.

17 MR. MARTIN: Well, here -- that -- that was my next
18 point.

19 MR. PAISON: Yeah.

20 MR. MARTIN: Is if you're telling residents they have
21 to stay three feet away from the fence, are they -- are you
22 going to specify that you have to stay three feet away from the
23 Southfield fence, the MDOT or whose fence? Because you can't --
24 you know, how are you going to --

25 MR. PAISON: Yeah.

1 MR. MARTIN: -- define that to the --

2 MR. PAISON: Technically, that also would be a
3 violation of this ordinance. And if it were causing a problem
4 like it's damage in the fence, it's becoming unsightly, our code
5 enforcement staff could do enforcement on that and probably
6 would be as we're -- even though we don't install or maintain
7 those fences, it is part of our community appearance, and we
8 would like them to stay looking nice. So it -- it -- I think
9 they're going to focus on making sure the Southfield fences get
10 done first, but they definitely could do that enforcement all
11 along the county and state fences as well.

12 MR. MARTIN: But the only reason I ask is because
13 there are fences along Eleven Mile I know that one side is nice
14 and clear, the backside is not.

15 MR. PAISON: Yeah. Yeah. And -- and what code
16 enforcement has told us is one of the problems they have is they
17 don't have a good ordinance in place that empowers them to do
18 that enforcement.

19 MR. MARTIN: That is a -- is not a problem because
20 there's an easement. And so that -- that property is supposed
21 to be -- that's something that they could walk either three feet
22 area by the fence.

23 MR. PAISON: Yeah.

24 MR. MARTIN: So --

25 MR. PAISON: The problem is, they needed an ordinance

1 section to cite for a violation. This will give them that.

2 MR. MARTIN: Okay. So this will take care of that.

3 MR. PAISON: Yeah. This gives them a -- when they
4 write a violation, they're supposed to cite a section number
5 that is the violation. So when it goes to court, they know
6 exactly two things. One, you know exactly what the violation
7 is, but you also know exactly what the remedy is. So it's very,
8 very clear what they need to do coming back into compliance,
9 which does usually help go -- to get a lot of voluntary
10 compliance because you can tell a person exactly what they need
11 to do to get into compliance, and you don't have to be vague
12 about it. And you can show them the language. You -- you'll in
13 many cases, get a large amount of voluntary compliance. It's
14 only the stubborn people that will force you to do a ticket and
15 go to court.

16 MR. MARTIN: Those are the one I'm -- I'm -- I'm
17 asking about really and, truly.

18 MR. PAISON: Yeah? And that's -- it's always a
19 contest here. We have a lot of ordinances and (indiscernible)
20 out there every day trying to deal with them. But it's -- yeah,
21 this will give both the courts and code enforcement a clear
22 reference to exactly what the violation is. You can take a
23 picture and show it. And then the court could say, yeah, just
24 clear that three feet, and this is resolved, you know, it's --
25 it -- it -- like -- it -- it really is helpful to have clear

1 ordinances when you're trying to get compliance.

2 MR. MARTIN: Thank you.

3 CHAIR GRIFFIS: Commissioner Willis.

4 MR. WILLIS: Thank you. I'm curious about the
5 three-foot easement also. The first thing is, if you have a
6 fence with the construction that I see.

7 MR. PAISON: Yeah.

8 MR. WILLIS: How would you know if there's a violation
9 on the other side?

10 MR. PAISON: In some cases, you'll see the tree above
11 -- or the sub above the top of the fence that it's clearly too
12 close.

13 MR. WILLIS: Okay. So it has to be --

14 MR. PAISON: Yeah.

15 MR. WILLIS: Obvious.

16 MR. PAISON: Or if a neighbor reports it and they'll
17 allow you into their yard. They do a lot of it that way. It's
18 the same problem they have with enforcing everything in
19 backyards.

20 UNIDENTIFIED SPEAKER: Yeah.

21 MR. PAISON: They have to get to a point where they
22 have a site line. And sometimes they'll just knock on a
23 neighbor's door and ask, can I go in your yard to look at this
24 problem in your neighbor's yard. And a lot of times, people
25 will let them. You just have to have the agreement of that

1 property owner. If it's privacy fences all the way around, that
2 might not work. But code enforcement, like, they understand
3 the -- the legal workarounds -- hell, if the -- if the neighbor
4 will let you go into their house or their second floor and look
5 down at the property, that's legal. I've seen it done in a
6 bunch of different ways. And all of that is as -- as long as
7 you don't enter their property without a warrant, if you can get
8 eyes on it and get a (indiscernible) of picture of it, you can
9 write a violation.

10 MR. WILLIS: Thank you. I just want to make sure no
11 one have to surrender property rights to have access to that.

12 MR. PAISON: No.

13 MR. WILLIS: Okay. Thank you so much.

14 CHAIR GRIFFIS: Commissioner Goodwin-Dye.

15 Ms. GOODWIN-DYE: No questions.

16 CHAIR GRIFFIS: Commissioner Bernoudy.

17 MS. BERNOUDY: Yes. I'd like to know if this
18 improvement will have any ill effect on the resident's taxes.

19 MR. PAISON: No. I mean, this is public
20 infrastructure. It's going to be maintained. They're actually
21 setting up a fund for future maintenance of it and replacement
22 based on our appearance work. So this is considered public
23 infrastructure.

24 I mean, having a nice looking area might raise your
25 property values, which might effect -- eventually affect your

1 taxes. But it won't be inherently listed as an asset on the
2 parcel because it's public infrastructure on the right-of-way.

3 So it wouldn't be -- if you do in addition to your
4 house, that adds to the value of your house, like, inherently by
5 square footage. This wouldn't do that because this is publicly
6 installed maintained infrastructure.

7 MS. BERNOUDY: That'll be a nice improvement.
8 Appreciate it.

9 MR. PAISON: Yeah.

10 MS. BERNOUDY: Thank you.

11 CHAIR GRIFFIS: Yeah. I think this is better than the
12 alternative of letting everybody do whatever they want. And you
13 can see it in neighboring communities, it looks very bad when
14 there are no rules. It's -- it's a little odd that the city is
15 paying for all these fences. But other than that, I have no
16 opposition to it.

17 Anybody else? So is there a recommendation for this
18 site?

19 MR. PAISON: Yes, Mr. chairman, we are recommending
20 favorable recommendation of zoning text amendment PTZA 25-0005
21 to amend the ordinance to add a definition for public
22 right-of-way fence and for some standards for maintenance of
23 those -- the areas along that fence.

24 The city is replacing these decorative fences
25 constructed along the main public rights of way in the past

1 decades. In order to ensure the new fences have their full
2 design lifespan and are a good use of tax dollars and efficient
3 use of tax dollars. We want to main -- the area along and
4 maintained in a reasonable fashion that doesn't damage or
5 shorten that life span.

6 It is proposed amendment would promote the orderly
7 development of the community, and it's necessary to ensure the
8 health, safety and welfare of the community. So it falls under
9 that key provision.

10 CHAIR GRIFFIS: Okay. Thank you.

11 With that, where you are looking for a motion on PTZA
12 25-0005.

13 MS. BERNOUDY: I would like to make a motion.

14 CHAIR GRIFFIS: Okay.

15 MS. BERNOUDY: Let's see. It's -- I'd like to make
16 a -- a motion to approve PTCA 25-0005.

17 MS. GOODWIN-DYE: Second.

18 CHAIR GRIFFIS: Got a favorable motion by Commissioner
19 Bernoudy, supported by commissioner Goodwin-Dye.

20 All in favor?

21 ALL: Aye.

22 CHAIR GRIFFIS: Any opposed? Okay. The text
23 amendment passes.

24 Next, we have meeting minutes for August 6th and
25 August 27th of 2025.

1 MS. GOODWIN-DYE: My name is spelled wrong.

2 CHAIR GRIFFIS: Huh? Who?

3 MS. GOODWIN-DYE: Goodwin-Dye.

4 CHAIR GRIFFIS: Both or all or one?

5 MS. GOODWIN-DYE: Goodwin is spelled with an I, not a
6 Y.

7 UNIDENTIFIED SPEAKER: Is that for the study meeting
8 or the transcript?

9 MS. GOODWIN-DYE: Yes. Study meeting.

10 CHAIR GRIFFIS: All right.

11 Any additional comments? If not, we we're looking for
12 a motion to approve the minutes with the corrections stated.

13 MS. STEVENS-GUNN: To the chair. I'm motion that we
14 accept the meeting minutes from August 6, 2025, the planning
15 commission study meeting. I don't have the August 27th
16 transcripts.

17 MR. PAISON: Yeah. As we're provided in your digital
18 packet, we don't typically print those out for everybody because
19 they're -- they're big. Those transcripts are like --

20 MS. STEVENS-GUNN: Okay.

21 MR. PAISON: -- 40 pages printed commonly.

22 MS. STEVENS-GUNN: I also would recommend that the
23 planning commission accept the minutes from August 27, 2025, the
24 regular meeting draft transcript minutes.

25 MS. GOODWIN-DYE: Support.

1 CHAIR GRIFFIS: We've got a motion to approve the
2 minutes with the corrections by Dr. Stevens-Gunn, supported by
3 Commissioner Goodwin-Dye.

4 All in favor.

5 ALL: Aye.

6 CHAIR GRIFFIS: Any opposed?

7 All right. Meeting minutes are approved.

8 Now, we have the public comment portion of the -- the
9 meeting. If a person is wishing to address the commission shall
10 be limited to a period of three minutes unless the period of
11 time is extended by the presiding officer or by a majority vote
12 of the commission. Just to -- I'd like, to remind everybody of
13 the following rules of procedure for all speakers.

14 No speaker may make personal or impertinent attacks on
15 any officer, employee, planning commission member that is
16 unrelated to the manner in which the officer, employee or
17 planning commission member performs his or her duties. No
18 person shall use abusive or threatening language toward any
19 individual when addressing the planning commission. Any person
20 who violates the section shall be directed by the presiding
21 officer to be orderly and silent. If a person addressing the
22 planning commission refuses to become silent when so directed,
23 such person may be deemed by the presiding officer to have
24 committed a breach of the peace by disrupting and impeding the
25 orderly contact of the public meeting of the planning commission

1 and may be ordered by the presiding officer to leave the
2 meeting.

3 If the person refuses to leave as directed, the
4 presiding officer may take whatever actions are necessary to
5 remove the person from the meeting. A call-in number for
6 communication will be provided the night of the meeting. I
7 don't know if we have that, but that's maybe a leftover.

8 UNIDENTIFIED SPEAKER: (Indiscernible.)

9 CHAIR GRIFFIS: That was when we were not live and in
10 person. Okay. Thank you.

11 MR. CROAD: You need to update our --

12 CHAIR GRIFFIS: I haven't read that in a while.

13 MR. CROAD: No. That --

14 CHAIR GRIFFIS: Okay. So I'm going to open up the
15 public comment portion at this time.

16 I do have a list, sign-in sheet that was completed. I
17 was going to try to go in this order. And then if there's any
18 other people that did not sign up, if you form a line behind
19 the -- the latest speaker. First -- first name was Vincent
20 Cipriano. I believe he was with the previous applicant.

21 Next, we have Jennifer Kramer. And again, just please
22 state your name and address for the record when you get up to
23 the microphone. And the microphones really touchy, so just kind
24 of move it up--

25 MS. KRAMER: Okay.

1 CHAIR GRIFFIS: -- to your --

2 MS. KRAMER: Can everyone hear me okay?

3 CHAIR GRIFFIS: It's a little quiet. You just got to
4 move --

5 MS. KRAMER: Okay. Thank you. My name is Jennifer
6 Kramer. My address is 15 Hanover Road, Pleasant Ridge,
7 Michigan. Thank you to the commission for the time today.

8 I am speaking here because I'm a -- both a concerned
9 parent and stand in opposition to Red Zone Firearms opening a
10 location at 15660 West 12 Mile, which is immediately next door
11 to my children's daycare center, which is IXL Learning Center at
12 -- located at 15600 West 12 Mile road.

13 Additionally, there is a Baby Genius Daycare Center
14 that is immediately to the west of my children's daycare center.
15 My -- as I mentioned, two of my children attend IXL, and I just
16 had my other daughter recently graduate as well.

17 I, of course, understand firearm sales are allowed
18 within the state and are allowed within appropriately zoned
19 business locations. However, this specific location, as I
20 mentioned, is immediately next door to my children's daycare
21 center. It shares a common driveway with the day care center,
22 and it's less than 50 feet away from my children's daycare
23 center. The daycare is -- or the center is both a daycare and a
24 state funded ru -- operates a state funded pre school
25 classrooms.

1 Additionally, it is -- it is very crowded at drop off
2 and pickup. And current patrons of the existing businesses that
3 are next to where the firearms location is intending to be
4 located currently use the IXL private property parking lot at
5 times to park in the lot as overflow. This would -- you know,
6 opening the firearm shop would add to the overflow parking and
7 potentially create scenarios where firearms may be located or
8 transported on IXL private property.

9 In general, it's an inappropriate and unne -- an
10 unnecessary risk to have a firearm shop located next to a
11 daycare or childhood education center.

12 And so I'm speaking to this commission to identify how
13 we can prevent this store from opening in this particular
14 location. And also, to recommend updating any city laws or
15 ordinances to establish clear precedent to keep gun shops a
16 1,000 feet or some other appropriate distance -- distance away
17 from daycares and schools within the city of Southfield. Thank
18 you.

19 CHAIR GRIFFIS: Thank you.

20 Planner Croad, this is a new item to me. Do you want
21 to address this in general or the process, or how do you want to
22 handle it?

23 MR. CROAD: What -- what I would prefer is that we
24 hear all of the comments.

25 CHAIR GRIFFIS: Okay.

1 MR. CROAD: We'll take notes, and I'll address what I
2 can. And what we can't, we'll -- we'll follow up.

3 CHAIR GRIFFIS: Okay.

4 MR. CROAD: But I'm taking notes here, and I want to
5 make sure we hear all the comments.

6 CHAIR GRIFFIS: Okay.

7 MR. CROAD: And then I'll make a statement to the
8 planning commission on items that I can respond to.

9 CHAIR GRIFFIS: Okay. Thank you for stating all the
10 addresses of all the properties involved.

11 MS. KRAMER: I think I got them.

12 CHAIR GRIFFIS: I think that's well established, so
13 maybe everyone else, we don't need to repeat that particular
14 fact. But feel free to say what your -- thank you.

15 MS. KRAMER: Thank you very much.

16 CHAIR GRIFFIS: Next on my list, I have Sean
17 Spanbauer. But please do state your name and address first and
18 then anything else you'd like to say.

19 MR. SPANBAUER: My name is Sean Spanbauer. Address
20 4223 South Fulton, Royal Oak, Michigan. I'm here speaking on
21 behalf of my son, four-year-old, who attends IXL Learning Center
22 on 12 Mile Road near Greenfield Road.

23 I wanted to comment on the gun store, Red Zone
24 Firearms that is currently under construction with expected
25 opening in the upcoming weeks. I'm concerned about the

1 proximity of guns being handled literally feet from my son and
2 his little friends.

3 While I'm not going to pretend that guns don't exist.
4 Putting a gun store next to a daycare normalizes them to
5 children at a time when their brains are forming. I think
6 effectively advertising them. Laws were put in place nationally
7 limiting advertisements of cigarettes and alcohol to children.
8 Using similar logic.

9 I'm asking the planning commission to consider
10 anything that they can to prohibit this store from opening and
11 consider changing local zoning laws to prohibit gun sales from
12 op -- gun stores from opening near daycares and schools in the
13 future. Guns and kids don't mix. Thank you.

14 CHAIR GRIFFIS: Thank you. Next, I have -- I believe
15 it's Patrick McGee.

16 MR. MCGEE: Evening. My name is Patrick McGee, 4524
17 Elmhurst Avenue, Royal Oak, Michigan.

18 CHAIR GRIFFIS: Can you just move the mic up a little
19 closer to your mouth? Thank you.

20 MR. MCGEE: How's that?

21 CHAIR GRIFFIS: A little -- that's better.

22 MR. MCGEE: Sorry. Do you -- Patrick McGee, 4524
23 Elmhurst Avenue, Royal Oak, Michigan. I'm here to speak on the
24 Red Zone Firearms that has been opened next to my son or
25 daughter's daycare, who is currently three going there.

1 Their playground is -- is in direct site of this
2 building where my kids play, go down slides. They do water play
3 in the summer in the parking lot where they're playing in the
4 summer. They do chalk in the summer directly next to this
5 proposed firearm store. I do not think it should be there.

6 The city of Southfield has over 26.68 square miles.
7 There could be a better location. And as previous people have
8 said, I think there should be some sort of zoning ordinance that
9 would prohibit the opening of a firearms store directly next to
10 a daycare center that receives state funding for great start
11 readiness and that has infants all the way up to five year olds
12 in this building where, as far as I know, the building's walls
13 are not bullet resistant. There is, in fact, a glass door that
14 faces the parking lot of this proposed firearm. And those kids
15 in that classroom will be able to see guns being taken out of
16 people's cars and brought into the store or guns leaving the
17 store and coming in.

18 And I believe without a lock on that gun, it will be a
19 violation, and the police will need to be called. As you have
20 brandishing a gun in front of a child at their school. Don't
21 quote me on that, but I believe so.

22 And then I want to make the -- the -- the point here
23 that there have been several state laws around the sale and use
24 of tobacco, several state laws about the sale of cannabis as
25 well as opioids and drugs, that you cannot have them directly

1 next to schools. It would stand to reason that you should not
2 be able to have a firearm store directly next to my daughter's
3 daycare. Thank you.

4 CHAIR GRIFFIS: Thank you. Next --

5 MR. MARTIN: To I chair. Can you ask the individuals
6 that come up to speak to please speak into the mic so we can
7 hear them clearly?

8 CHAIR GRIFFIS: Yeah.

9 Next on my list, Rachel Lang -- is that Rachel?

10 MR. LANG: (Indiscernible.)

11 CHAIR GRIFFIS: Yeah. Yeah. Go ahead. You'll have a
12 total of, well, three minutes and three minutes as preferred.

13 MR. LANG: Good evening, commissioners. My apologies
14 for the mic. Our names are Alex and Rachel Lang. This is our
15 daughter, Delaney. She's two and a half years old. Our family
16 recently moved to the west side of Berkeley bordering
17 Southfield. We're at 2359 Thomas Avenue, very close to the
18 intersection of Greenfield and 12 Mile.

19 Delaney attends the IXL Daycare on 12 Mile Road. We
20 learned today that a gun shop was approved to open next door to
21 I -- next door to IXL, even sharing a parking lot and a
22 driveway, as previously stated.

23 We understand the reasoning that this was approved due
24 to current zoning rules and regulations. However, we strongly
25 oppose this business opening --

1 CHAIR GRIFFIS: Usually no one wants to touch the
2 microphone. So that's -- that's fine. No. Sorry. Go ahead.

3 MR. LANG: I'm sorry. I apologize.

4 We strongly oppose this business opening next store to
5 any day care center. The regulations and current zoning rules
6 have permitted an undeniably oversight in this scenario. I
7 can't imagine why any city would allow a gun shop to open next
8 to a daycare. It's not allowed next to a public school. And I
9 believe that this is that same situation.

10 I don't fault the owner of this gun shop for trying to
11 run a successful business that he believes in. I do however,
12 fault the oversight that rests on his shoulders to proceed with
13 this process as well as the city of Southfield. At any time
14 during this approval process, I believe this should have been
15 contested and halted, despite everything being legal at this
16 point.

17 I think any moral person can see the reasons that this
18 is wrong. I believe that this commission and the government has
19 the power, morally and through legal processes, to make this
20 stop. And I urge that all involved parties to take moral
21 corrective action to stop this gun shop opening.

22 IXL doesn't deserve to be the day -- the daycare next
23 to the gun shop. Delaney and her classmates shouldn't have to
24 play in a playground that is less than 200 feet from individuals
25 entering/exiting a store in vehicles with guns, and she

1 shouldn't have to learn in a classroom that's less than 70 feet
2 away.

3 I think we all have the obligation and the power to
4 put an end to minimize the risk of gun violence in an area where
5 children are learning. And I think we owe it to -- to the --
6 the IXL community and to all of our community members to do what
7 needs to be done to stop this. And I understand that won't be
8 easy. Thank you.

9 CHAIR GRIFFIS: Thank you.

10 MR. LANG: Appreciate your time.

11 CHAIR GRIFFIS: So everybody on my list, if there's
12 any additional public that would like to speak, please do so at
13 this time.

14 Please give us your name and address.

15 MS. CLARK-ORST: Can you hear me okay?

16 CHAIR GRIFFIS: I think yeah.

17 MS. CLARK-ORST: Okay. Thank you.

18 CHAIR GRIFFIS: This is hard to tell in the beginning.

19 MS. CLARK-ORST: Okay.

20 CHAIR GRIFFIS: Yeah. We'll go do -- we'll go to you
21 next.

22 MS. CLARK-ORST: Okay. My name is Anne Clark Orst
23 (phonetic). I reside at 20320 Alhambra in Southfield.

24 I've been a Southfield resident for more than 30
25 years, and I'm the owner of Baby Genius Learning Center located

1 at 15750 West 12 Mile. Just this week, I learned that the
2 retail gun shop is operating -- it is opening on our block. I
3 had no idea that this was in the works, and it only came to my
4 attention when the signage went up over the weekend.

5 I'm a former educator. I've spent many years as a
6 public school teacher, hold a bachelor's degree in education and
7 a master's degree in special education. As a child care
8 provider, I'm committed to providing the best experiences
9 possible not only for the children that I love and care for, but
10 for all of the children in our community. They deserve better
11 than to see a gun shop next door to their school every day as
12 they pass by.

13 Children's early experiences from birth to five direct
14 their lives as their brains grow and develop. We owe it to the
15 children to provide positive experiences and make positive
16 impressions.

17 I don't object to a legally operated gun shop. My
18 objection is to the location. Next to our schools or next to
19 any school. As adults, we have a moral obligation, excuse me,
20 to do our best for kids who rely on us to speak for them when
21 they do not yet have the ability to speak on their own. I stand
22 here on behalf of those children.

23 The issue of a gun shop next to schools goes against
24 my moral consciousness, and I'm therefore required to speak out
25 against it. Our most urgent priority is to have this business

1 relocated.

2 Additionally, I request that the city look into
3 rezoning so that this will not continue to be an issue moving
4 forward. Thank you.

5 CHAIR GRIFFIS: Thank you.

6 Please state your name and address.

7 MR. ORST: Good afternoon. Name is Carlton Orst.
8 Husband or the more eloquent speaker, Anne Orst.

9 Long time city resident at 20320 Alhambra. But been a
10 resident and worker for at least 38 years in the city of
11 Southfield. This is my first time coming here to speak, so I
12 might sound a little bit nervous, but this is too important.

13 This is a moral imperative for the city of Southfield.
14 How could in any way possible can have a gun shop open right
15 next door to two schools? Just last year -- last year, this
16 month, right next door, in the city of Berkeley, they had the
17 same problem. It wasn't Escanaba or Marquette (phonetic),
18 remote location in the state where you probably didn't hear
19 about it. This is right next door. In the same identical
20 situation. A retail store was closed. The guy wanted to open
21 up a gun shop. They ran him out, at least from that area. He
22 still can be in the community of Berkeley, but not next to a
23 school. We should -- we should have the same situation. How
24 that got past this group, it's beyond me. But there's no way
25 possible you can put a gunshot -- gun shop next to two schools

1 or any school district. We got to do better than this.

2 Be more and happy and ask -- answer any questions.

3 But the most urgent priority, make change to laws, but find a
4 new location for the guy. He should not be there. Thank you.

5 CHAIR GRIFFIS: Thank you. Any additional members of
6 the public wish to speak, please come forward.

7 Give us your name and address, please.

8 MR. CHAMBERLAIN: Good evening. My name is Peter
9 Chamberlain, 2072 Robina, Berkeley 48072.

10 I am the parent of a 16-month-old who attends IXL. I
11 was working on job applications this afternoon, and my wife came
12 downstairs freaked out about the news.

13 I do not object to a business owner who wants to
14 establish a store. I am bumfuzzled and fascinated, truly
15 fascinated how this happens. There may be loopholes. There may
16 be oversights. There may have been human error. I understand
17 that. But I would ask you all a couple of questions. What if
18 this was your kid at a daycare? We're very happy with our
19 daycare. Our son was born on May 3, 2024. His first day at IXL
20 was the first Tuesday of September that year. So he was four
21 months old.

22 We put in to get to a day care in December of 2023.
23 Think about how long that would take if you were concerned
24 parent or god-forbid, a daycare trying to find a new place.
25 What would you tell your child? And what if it was your child

1 next to you?

2 Again, just for some information, I grew up in
3 Oklahoma. My parents still live there. They live three miles
4 from, and I swear this is true, a gun range called Guns of
5 Glory, which is a Christ centered gun range. It's Oklahoma, I
6 can say that it tracks.

7 But I would ask, what if that was your kid? What if
8 that was your kid driving as you were taking them to daycare,
9 having to go by there when what you want when you take your kid
10 there is you want them to be picked up in the same condition or
11 maybe better? I would ask the coun -- the commission to
12 reconsider. I would ask the commission to work with an owner to
13 find a better place because as people have eloquently stated,
14 there are plenty of places around. I think it's something
15 (indiscernible) be done. And I thank you for your time.

16 CHAIR GRIFFIS: Thank you.

17 MS. LARABY: Hi there. Can you hear me okay?

18 CHAIR GRIFFIS: Not -- not really. Lift it up there.
19 There you go.

20 MS. LARABY: Okay. Is that better?

21 CHAIR GRIFFIS: That's much better.

22 MS. LARABY: Okay. My name is Lindsey Laraby, and I
23 reside at 150 Wood Edge in Bloomfield Hills. I am the director
24 and managing partner of IX Learning Center and Berkeley. I've
25 worked with IXL for 15 years. We've grown from one location

1 into nine into Metro Detroit area.

2 Our foundation of what we do is to provide a safe,
3 loving environment. That is getting taken from us without even
4 notice. We weren't asked. We weren't notified. There was
5 nothing given to us to even know that this was something that
6 was happening. And my responsibility lies in keeping these kids
7 safe.

8 Additionally, I have a staff between 40 to 50 teachers
9 at a time, and they're also scared. They didn't ask to come to
10 work feeling nervous. And now that's changing on them, and it's
11 completely out of our control.

12 I'm not sure what the next steps are. However, we've
13 been operating there for seven years very successfully, and I'd
14 really like that to continue moving forward. Thank you.

15 CHAIR GRIFFIS: Thank you. Any additional members of
16 the public wish to speak at this time? Seeing none. We'll
17 close the public comment portion of the meeting.

18 Planner Croad remind me again, what are -- what the
19 process is at this --

20 MR. CROAD: Well, I'll --

21 CHAIR GRIFFIS: -- in time --

22 MR. CROAD: I'll -- I'll try to --

23 CHAIR GRIFFIS: -- we're done with taking comments.

24 MR. CROAD: I mean, obviously, I'm going to make my
25 comments to the planning commission and try to cover as many of

1 the issues that have been brought up. And then we'll -- we'll
2 bring back some recommendations at your next study meeting.

3 CHAIR GRIFFIS: Okay.

4 MR. CROAD: So we understand the concerns of the child
5 care operators and the parents, and I've read numerous emails
6 over the last couple of days regarding their concerns.

7 The reason there was no notice given was because it
8 did not require a zoning amendment or a special land use. It
9 didn't even require a site plan review. So the planning
10 commission, the City Council, did not act on this at all. This
11 was a retail to retail.

12 In the retail sales of firearms and accessories is a
13 permitted use in the B3 general business district. So there was
14 no approvals other than zoning classification that was
15 determined that it was retail and I was permitted in the B3.

16 We are -- the planning and the city administration are
17 reviewing existing zoning, state and federal laws with the
18 police department, the fire department, legal and building.
19 I've been in contact with each of those departments over the
20 last couple of days. I will be immediately proposing new
21 requirements, including recommending that future firearms and
22 accessory sales are special land use, that they have separation
23 requirements consistent with other similar types of uses like
24 alcohol sales and marijuana. And that we even consider limiting
25 them to specific districts.

1 And we will be bringing back those recommendations to
2 you at your next study meeting. I'm going to direct deputy city
3 planner Paison to schedule a public hearing so that we don't
4 lose any time on this issue. And I'm going to be working
5 closely with administration and all the appropriate department
6 to further investigate this particular case.

7 We have briefly looked at the federal law, and there
8 are some exemptions about firearm sales within the 1,000 foot
9 perimeter. So it's just not a zoning issue for the city.
10 There's state and federal requirements and rules that we're
11 reviewing with the police department and -- and legal.

12 That's all I can offer for now is just that we hear
13 everybody's concerns. We understand their concerns. We're
14 reviewing all these issues, and we will be bringing forward some
15 amendments so this doesn't happen again. I can't further
16 comment on the existing business at this time and whether there
17 are any remedies. But we're taking this serious. We hear the
18 concerns. I am a grandfather of a two and a half year old and a
19 six year old. So this -- I -- I understand the -- the parents
20 concerns, but we also have to look at what the legal
21 requirements are as well.

22 CHAIR GRIFFIS: Okay. That'd be our October 8th study
23 meeting, the --

24 MR. CROAD: Yes. We -- we will have at least a draft
25 amendments for further discussion with the planning commission

1 at that time. And we should be able to make our public hearing
2 notice requirements for the last meeting in October.

3 I'm sure there will be further discussion and comments
4 at the city council meeting, but I'm planning on moving this
5 forward as soon as possible.

6 CHAIR GRIFFIS: The -- is that city council meeting
7 this monday?

8 MR. CROAD: This monday --

9 CHAIR GRIFFIS: This coming Monday. Okay. Okay.
10 Commission, we could talk about this at the study
11 meeting in a week and a half or two weeks, whatever that is.

12 MR. MARTIN: The 8th. October 8th.

13 CHAIR GRIFFIS: October 8th.

14 MR. MARTIN: Yeah.

15 CHAIR GRIFFIS: All right. All right. Other than
16 that, the next -- next item is a council items update from the
17 planning department.

18 MR. PAISON: Yeah. The only planning item that was
19 before the council on their meeting on the 15th was approval to
20 apply for a 25-26 DET tree planting grant, which we apply for
21 pretty much every year and successfully get. It's a \$4,000
22 grant with a \$4,000 match, which comes from our tree fund. So
23 we were approved to apply. We got that application in.

24 And as we were awarded, I believe, the last three or
25 four years running, we anticipate we will receive that grant.

1 We will be planting those trees next year.

2 So that's really the only item we had since the
3 last --

4 MR. CROAD: I will add that we're planning on planting
5 any trees at the new Lahser Woods Dock Park.

6 MR. PAISON: Yeah. That was in our application as the
7 interrogator, yeah.

8 CHAIR GRIFFIS: Miscellaneous.

9 MR. PAISON: A couple items. We do have the study
10 meeting on the October 8th. And then we do have the long range
11 study meeting on the 15th, which we are recommending you cancel.
12 And then a regular meeting on the 29th.

13 MR. MARTIN: Could I make a suggestion?

14 CHAIR GRIFFIS: Sure.

15 MR. MARTIN: Why don't we wait until we know what
16 we're doing with the gun ordinance on the 8th before we cancel
17 the 15th?

18 MR. PAISON: Reasonable.

19 MR. MARTIN: It won't affect --

20 MR. PAISON: In case we need that study meeting, we
21 can --

22 MR. MARTIN: In case we need it. Yeah.

23 MR. PAISON: Yeah, we can make that decision on the
24 8th. I'll make a note.

25 CHAIR GRIFFIS: I recommend that we try to still

1 cancel the meeting --

2 Mr. MARTIN: Yeah. Yeah.

3 CHAIR GRIFFIS: -- when we get to the October 8th.

4 MR. MARTIN: Yeah. If -- if necessary --

5 CHAIR GRIFFIS: Yeah. That's fair. That's fair.

6 MR. MARTIN: Yeah.

7 CHAIR GRIFFIS: Keep it open. Okay.

8 MS. STEVENS-GUNN: So wait a minute. Are we --
9 what --

10 CHAIR GRIFFIS: We're going to meet on October 8th
11 as -- as previously scheduled, and then we're going to see --
12 see how the conversation goes and if --

13 MS. STEVENS-GUNN: I'll add it back to my calendar.

14 CHAIR GRIFFIS: Put it back on your calendar
15 tentatively. To be -- to be clarified the night of October 8th.

16 All right. That's everything on my agenda.

17 MR. PAISON: Yeah. That's it.

18 MS. STEVENS-GUNN: To the chair.

19 CHAIR GRIFFIS: Dr. Stevens-Gunn.

20 MS. STEVENS-GUNN: I motion that we adjourn the
21 meeting.

22 UNIDENTIFIED SPEAKER: (Indiscernible) joking.

23 CHAIR GRIFFIS: Oh. Okay.

24 Motion to adjourn by Dr. Stevens-Gunn. Supported by
25 Commissioner Goodwin-Dye.

1 MS. GOODWIN-DYE: Second.

2 CHAIR GRIFFIS: All in favor of ending the meeting?

3 All in favor of ending the meeting? Dr. --

4 MS. STEVENS-GUNN: Aye.

5 ALL: Aye.

6

7

8

9

10

11

12

13

14

15

16

17

18

19

20

21

22

23

24

25

CERTIFICATE OF TRANSCRIBER

I, JANENE CLEARY, do hereby certify that I was authorized to transcribe the foregoing recorded proceeding; and that the transcript is a true and accurate transcription, to the best of my ability, taken while listening to the provided recording.

I FURTHER CERTIFY that I am not of counsel or attorney for either or any of the parties to said proceedings, nor in any way interested in the events of this cause, and that I am not related to any of the parties thereto.

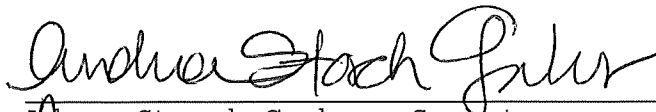
DATED this 17th day of OCTOBER, 2025

A handwritten signature in black ink that reads "Janene Cleary". The signature is written in a cursive, flowing style.

JANENE CLEARY, Michigan CSR No. 16359

September 24, 2025

1 Correction: BlueCross BlueShield should properly be Blue Cross
2 Blue Shield where referred to in the minutes.

3
4 

5 Andrea Storch Gruber, Secretary

6 Date: 11/5/2025